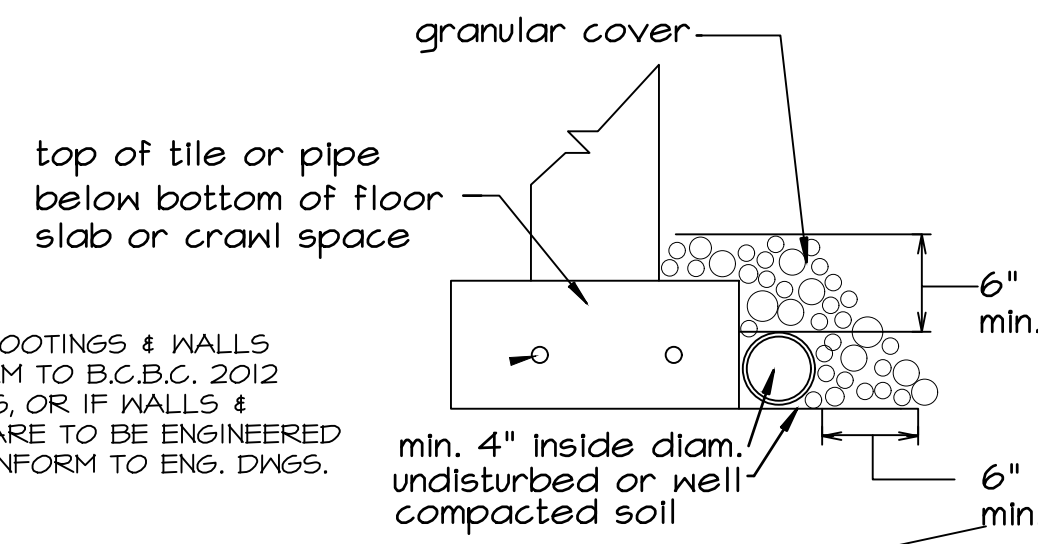


REVISIONS		
REV	DATE	DESCRIPTION
A	03/18/24	ISSUED FOR TENDER & DEVELOPMENT PERMIT

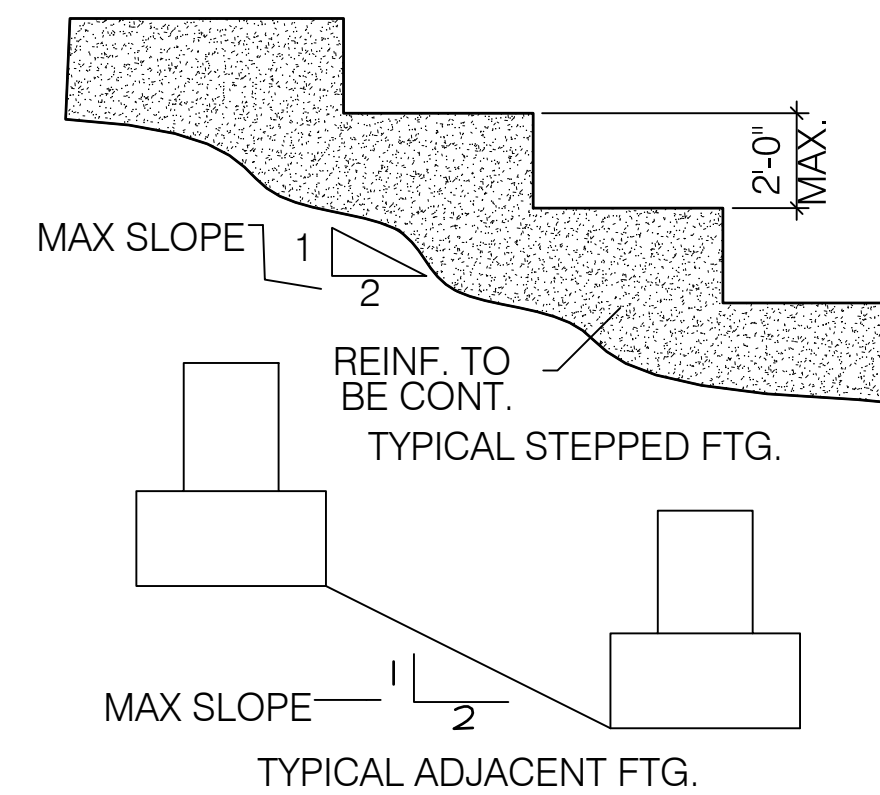


DRAINAGE TILE & BIG O DETAIL
SCALE: 1"=1'-0"

FOOTINGS ARE TO BE DESIGNED FOR AN ALLOWABLE SOIL BEARING PRESSURE OF 145 KPa(3000 PSF)

FOUNDATION NOTES

1. Footings are designed for an allowable soil bearing pressure of 145 KPa(3000 PSF).
2. Unless noted otherwise, all footings must be centred under columns or walls.



REBAR IN FOOTINGS & WALLS TO CONFORM TO B.C.B.C. STANDARDS, OR IF WALLS & FOOTINGS ARE ENGINEERED ARE TO CONFORM TO ENG. DWGS.

FOUDATION NOTES
SCALE: 1/2"=1'-0"

LEGEND

- FOUNDATION WALL
- INTERIOR BEARING WALL
- CONCRETE STRIP FOOTING

H.R.V. INSTALLED

ERRORS AND OMISSIONS

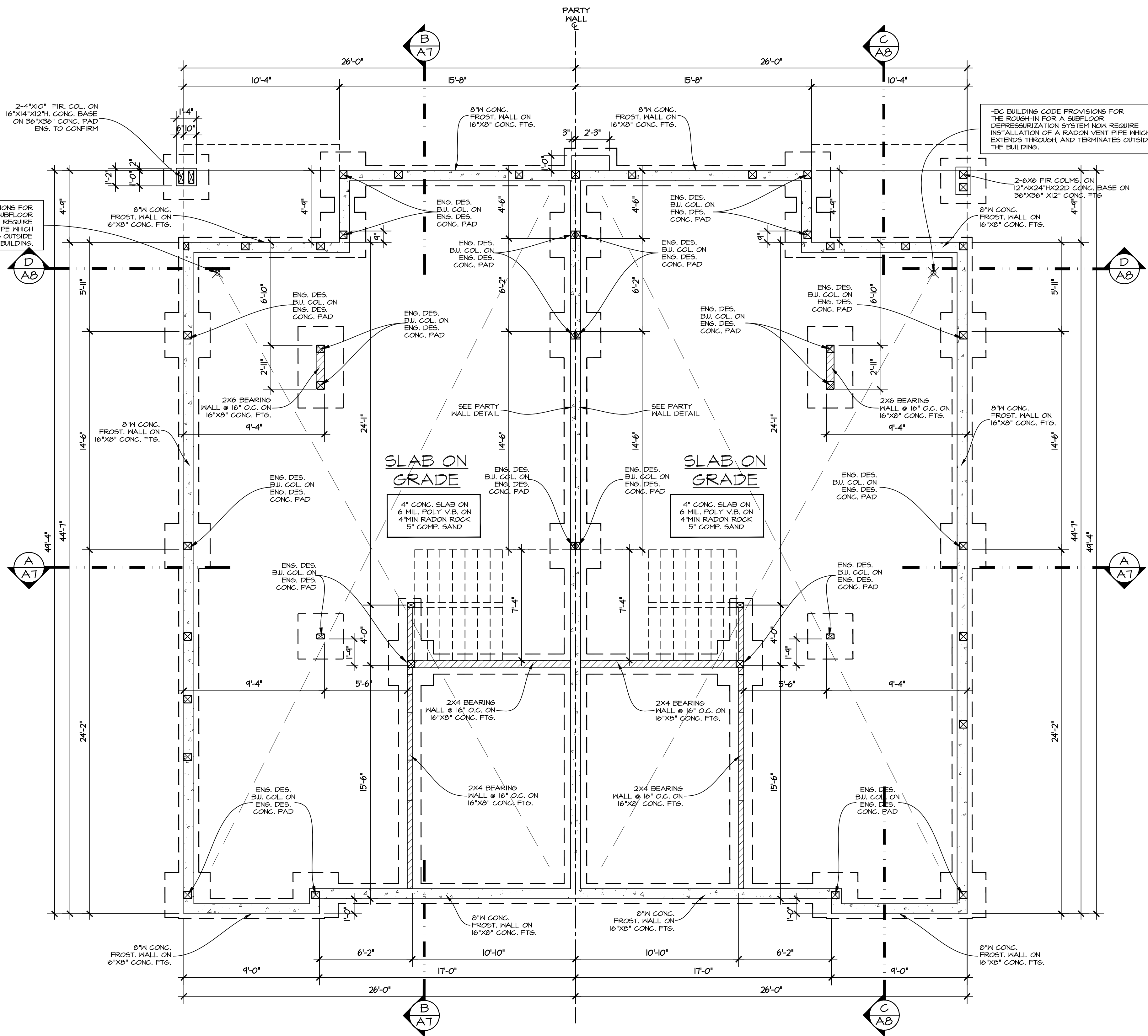
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- NOTES:
- FOUNDATION HEIGHTS MAY VARY AS PER SITE GRADE
 - ALL FOOTINGS TO BE BELOW FROST LINE
 - STEP FOOTINGS 2' MAX. VERT. & 2' MIN. HORIZ.

-STRUCTURAL ENGINEER TO CONFIRM ALL FOOTINGS, FOUNDATION WALLS BEAMS, HEADERS, COLUMNS, BEARING WALLS, JOISTS, AND ANY OTHER STRUCTURAL COMPONENTS OF THE BUILDING.

-CONDUIT PROVISION REQUIRED FOR FUTURE SOLAR PANELS ON ROOF AS PER BUILDING CODE. TRUSSES TO BE DESIGNED TO CARRY SOLAR PANELS. CONTRACTOR TO CONFIRM.

-BC BUILDING CODE PROVISIONS FOR THE ROUGH-IN FOR A SUB-FLOOR DEPRESSURIZATION SYSTEM NOW REQUIRE INSTALLATION OF A RADON VENT PIPE WHICH EXTENDS THROUGH, AND TERMINATES OUTSIDE THE BUILDING.



FOUNDATION PLAN
(KINNEAR AVE. UNIT #1 & #2)

* STRUCTURAL ENGINEER DRAWINGS FOR FOOTING & FOUNDATION DETAILS.

EVAN GILBERT
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www.egdrafting.ca 778.478.7722
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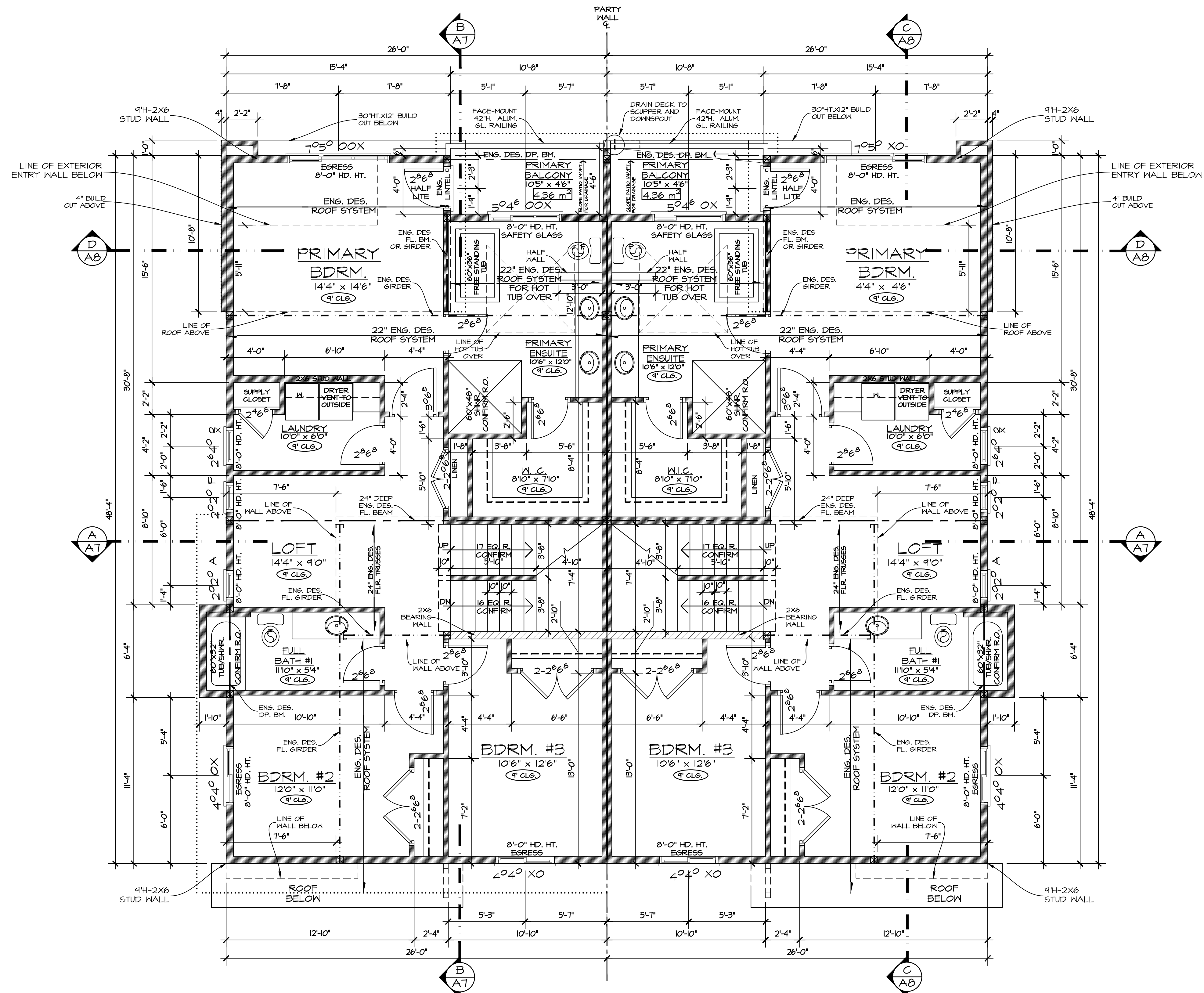
PROJECT TITLE
773 KINNEAR AVE.
KELOWNA, BC

DATE: 03/18/24
DRAWING SCALE: 1/4" = 1'0"
DRAWN BY: EKG
CHECKED BY: EKG
APPROVED BY:

SHEET NAME
UNITS #1 & #2 FOUNDATION PLAN

PROGRESS	
FOR CONSTRUCTION	
REVISION A	PLAN NUMBER: 890
SHEET NUMBER A3	SHEET 3 OF 17

REVISIONS		
REV	DATE	DESCRIPTION
A	03/18/24	ISSUED FOR TENDER & DEVELOPMENT PERMIT



NOTES:

- FRAMER TO CONFIRM ALL PLUMBING FIXTURE & FIREPLACE R.O.S PRIOR TO STARTING CONSTRUCTION.
- FRAMER TO PROVIDE PROPER BACKING FOR TONEL BARS, GRAB BARS, CURTAIN RODS, CLOSET RODS, PAPER HOLDERS, AND SIMILAR FIXTURES AS REQ'D.
- ELECTRICAL CONTRACTOR LAYOUT WITH CUSTOMER ON SITE PRIOR TO WIRING.
- TRUSS LAYOUT AS PER ENG. DES. DRAWINGS.

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-BC BUILDING CODE PROVISIONS FOR THE ROUGH-IN FOR A SUB-FLOOR DEPRESSURIZATION SYSTEM NOW REQUIRE INSTALLATION OF A RADON VENT PIPE WHICH EXTENDS THROUGH, AND TERMINATES OUTSIDE THE BUILDING.

NOTE:

- ALL WINDOW HEAD HEIGHTS TO BE 8'-0" UNLESS NOTED
- ALL DOORS TO BE 6'-8" HIGH UNLESS NOTED.

LEGEND	
	2X6 & 2X4 STUD WALL
	INTERIOR BEARING WALL

H.R.V. INSTALLED

UPPER FLOOR PLAN
(KINNEAR AVE. UNIT #1)
FINISHED AREA = 1147.39 SQ.FT. (106.59m²)
*NOT INCLUDING STAIRS
STAIRS TO ROOF-TOP PATIO = 84.33 SQ.FT. (7.83m²)
FLOOR AREA (NET) 1087.78 SQ.FT. (101.06m²)

UPPER FLOOR PLAN
(KINNEAR AVE. UNIT #2)
FINISHED AREA = 1147.39 SQ.FT. (106.59m²)
*NOT INCLUDING STAIRS
STAIRS TO ROOF-TOP PATIO = 84.33 SQ.FT. (7.83m²)
FLOOR AREA (NET) 1087.78 SQ.FT. (101.06m²)

ERRORS AND OMISSIONS

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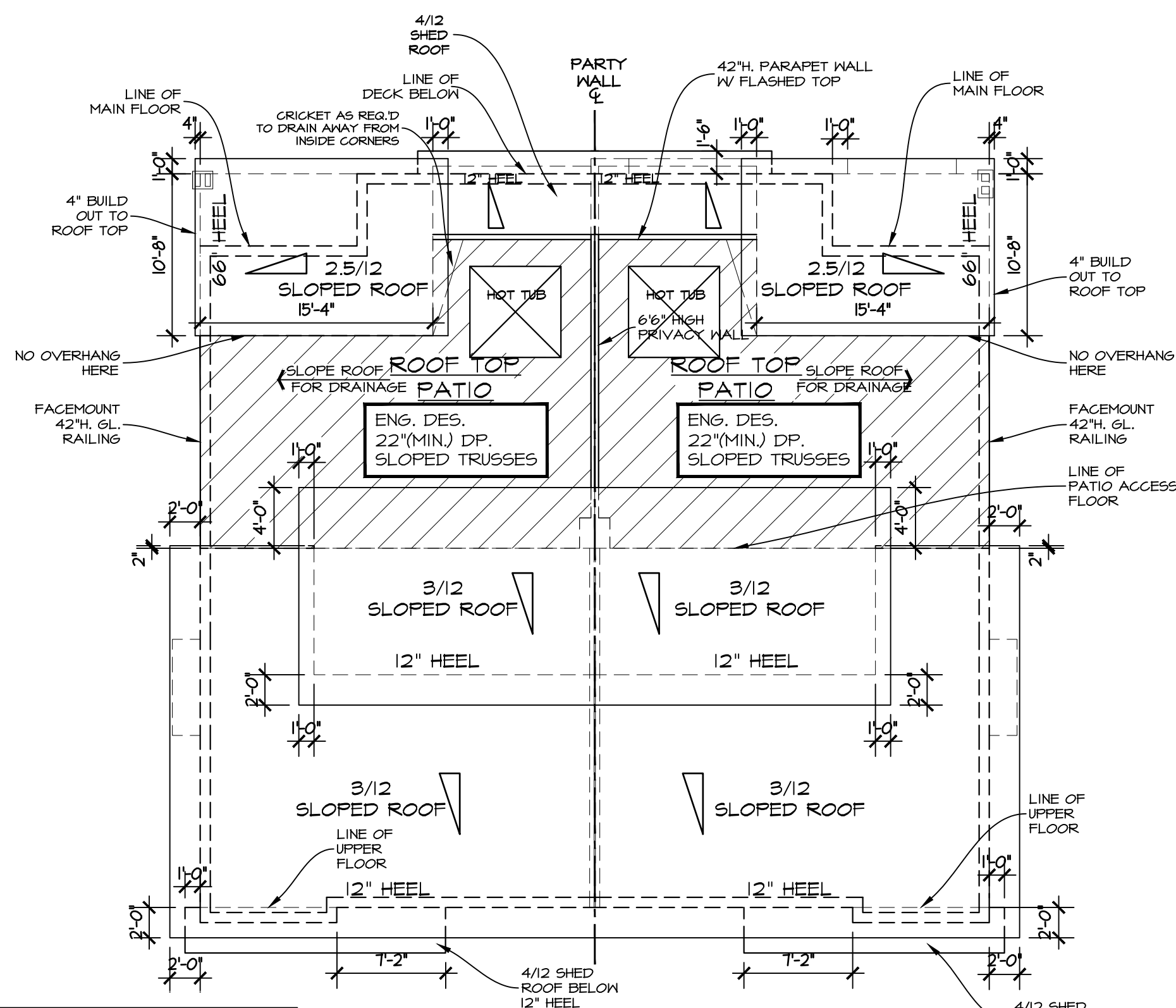
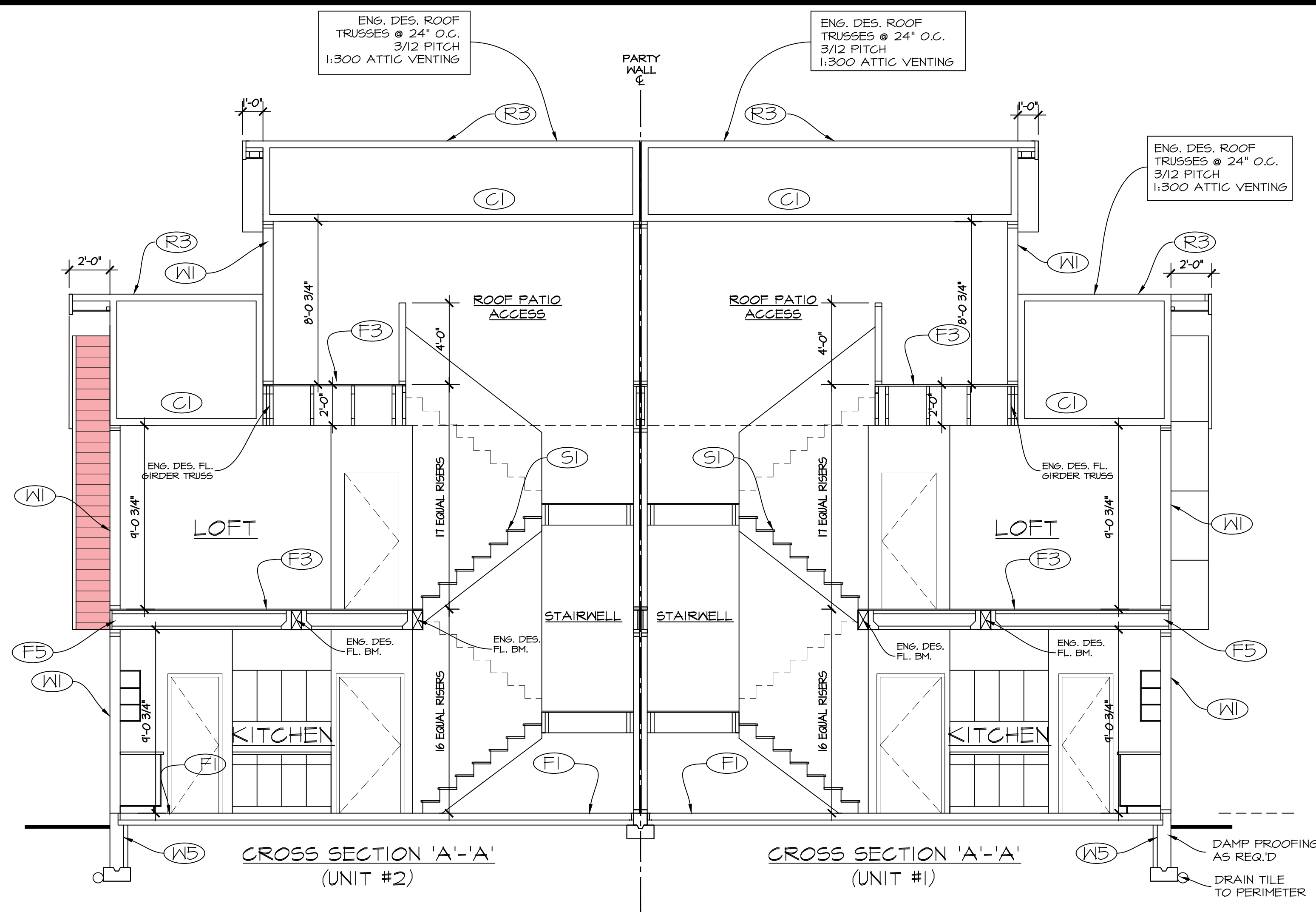
EVAN GILBERT
drafting & design
www.egdrafting.ca 778.478.7722
evan@egdrafting.ca

PROJECT TITLE
773 KINNEAR AVE.
KELOWNA, BC

DATE: 03/18/24
DRAWING SCALE: 1/4" = 1'0"
DRAWN BY: EKG
CHECKED BY: EKG
APPROVED BY:
SHEET NAME
**UNIT #1 & #2
UPPER FLOOR
PLAN**

PROGRESS	
FOR CONSTRUCTION	
REVISION A	PLAN NUMBER: 890
SHEET NUMBER A5	SHEET 5 OF 17

REVISIONS		
REV	DATE	DESCRIPTION
A	03/18/24	ISSUED FOR TENDER & DEVELOPMENT PERMIT



NOTE:
-VENTILATION SHOULD BE SHOWN ON ROOF ABOVE THE INSIDE OF THE EXTERIOR WALL WHEN SOLID SOFFITS ARE REQUIRED, PLUS VENTING NEAR THE RIDGE COMPLYING WITH BCBC 2012.

NOTE:
-FLAT TRUSSES C/W BUILT IN TOP CORD SLOPE FOR DRAINAGE. TRUSS MANUF. TO CONFIRM WITH ROOFING CONTRACTOR. ALL ROOF DRAINS TO BE IN ROOF O.H. DO NOT BRING ANY DRAINS DOWN INSIDE INTERIOR WALLS.
-CONTRACTOR TO CONFIRM ALL FLAT ROOF TO PARAPET CONNECTIONS INCLUDING ALL FLASHINGS, CANT STRIPS, & DRAINS.

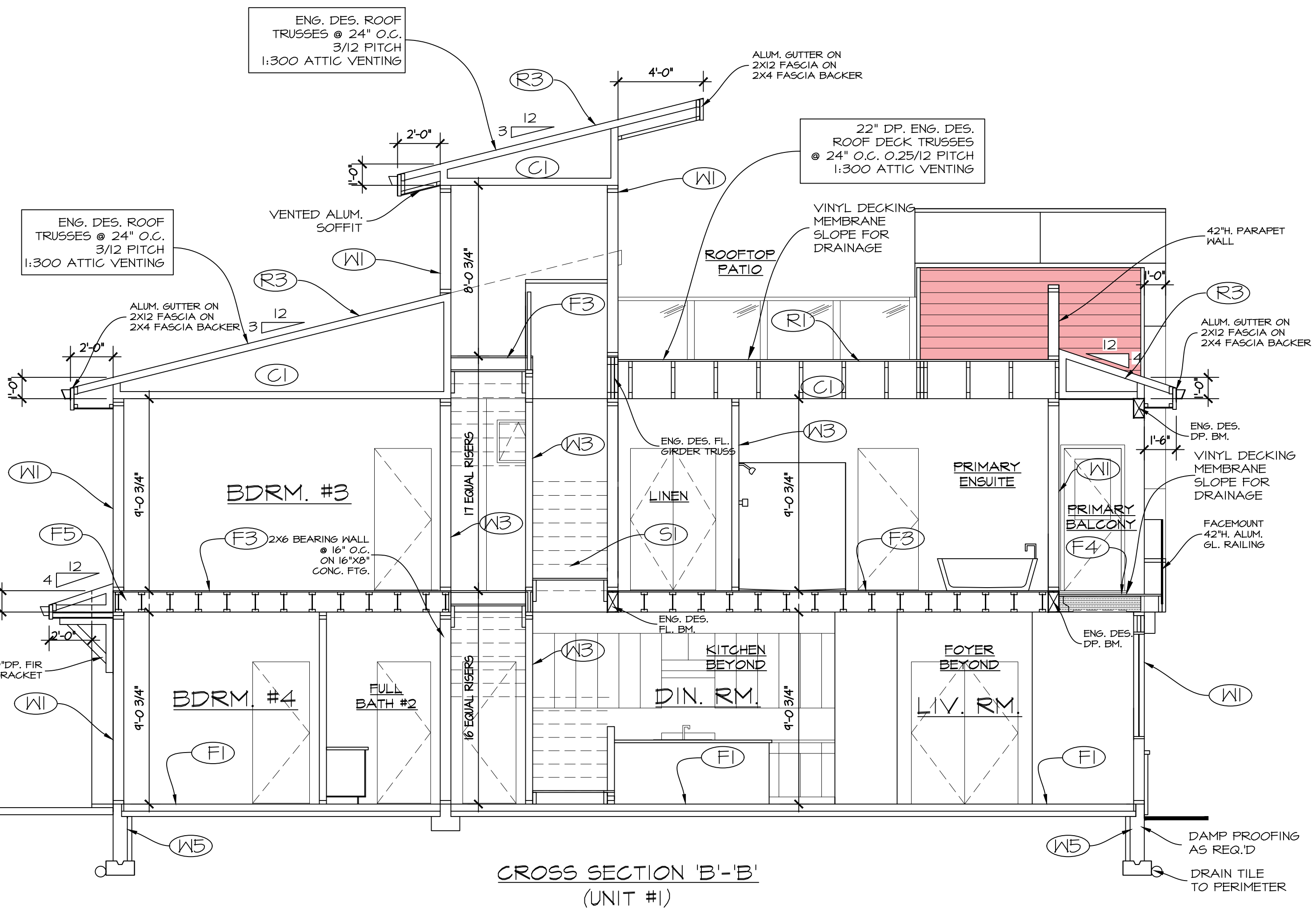
SOFFITS PROJECTING INTO 1.2m SETBACK TO BE UNVENTED AND PROTECTED. SEE BC.BC.A-9.10.15.5 IN APPENDIX A

ERRORS AND OMISSIONS

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ROOF PLAN (UNIT# 3)
ROOF PLAN (UNIT# 4)
1/8" = 1'-0"

NOTE:
-ALL HEEL HEIGHTS TO BE 12" UNLESS NOTED.



CROSS SECTION 'B'-B' (UNIT #1)

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www.egdrafting.ca 778.478.7722
evan@egdrafting.ca

PROJECT TITLE
773 KINNEAR AVE.
KELOWNA, BC

DATE: 03/18/24
DRAWING SCALE: 1/4" = 1'0"
DRAWN BY: EKG
CHECKED BY: EKG
APPROVED BY:

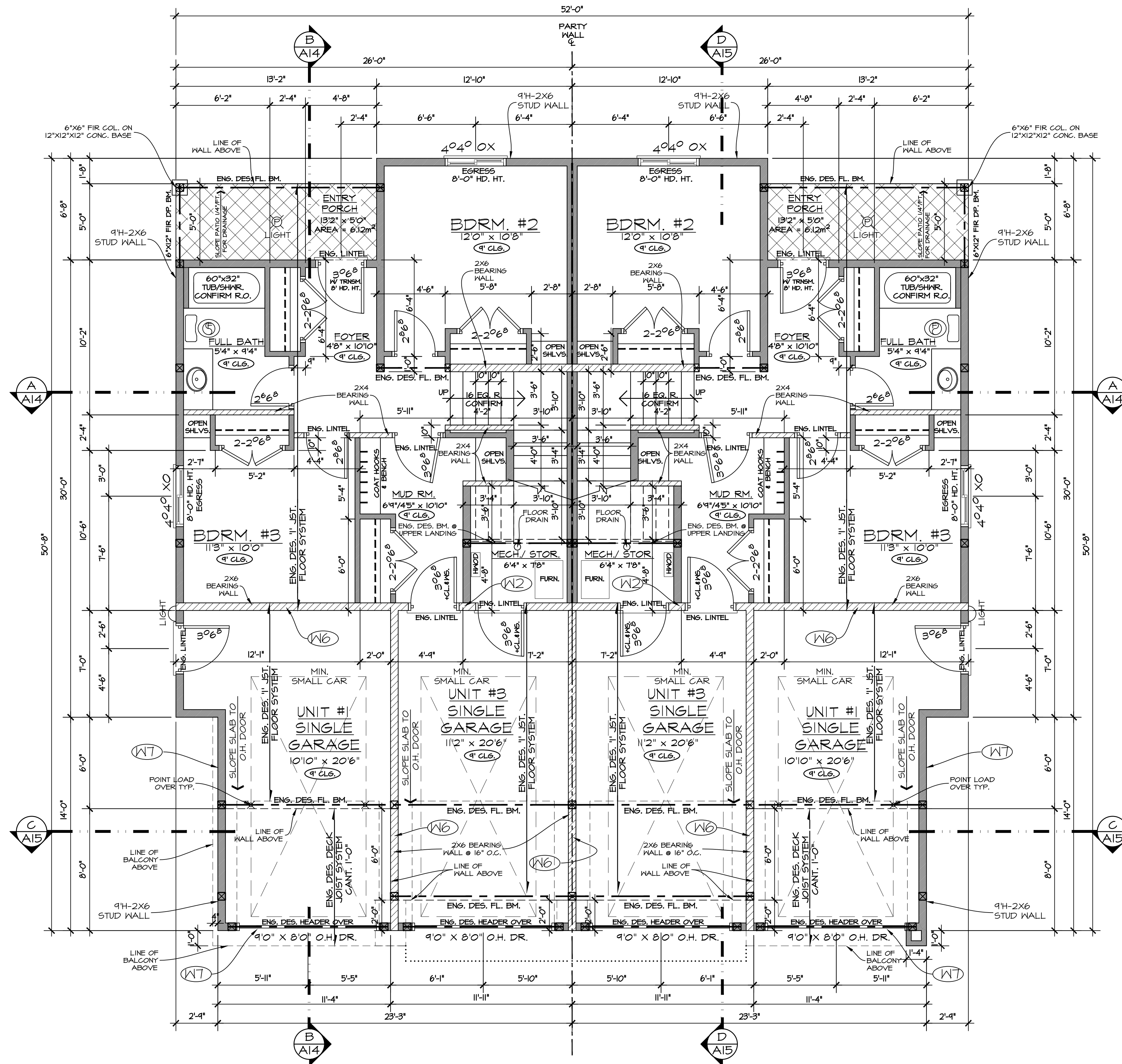
SHEET NAME
UNIT #1 & #2 CROSS SECTIONS A,B & ROOF PLAN

PROGRESS
FOR CONSTRUCTION

REVISION A	PLAN NUMBER: 890
SHEET NUMBER A7	SHEET 7 OF 17

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REVISIONS		
REV	DATE	DESCRIPTION
A	03/18/24	ISSUED FOR TENDER & DEVELOPMENT PERMIT



NOTES:

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- TRUSS LAYOUT AS PER ENG. DES. TRUSS DRAWINGS.

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NOTE:

- ALL WINDOW HEAD HEIGHTS TO BE 8'0" UNLESS NOTED
- ALL DOORS TO BE 6'8" HIGH UNLESS NOTED.

LEGEND	
	2X6 & 2X4 STUD WALL
	INTERIOR BEARING WALL

H.R.V. INSTALLED

MAIN FLOOR PLAN
(LANE UNIT #3 & #4)

FINISHED AREA = 650.11 SQ.FT. (60.40m²) (INCLUDING STAIRS TO UPPER FLOOR)
 + MECH./STOR. AREA = 46.93 SQ.FT. (4.01m²) (INCLUDES UNDER STAIRS)
 GARAGE AREA (ALL UNITS) = 1014.1 SQ.FT. (94.3m²)
FLOOR AREA (NET) 542.44 SQ.FT. (50.39m²)

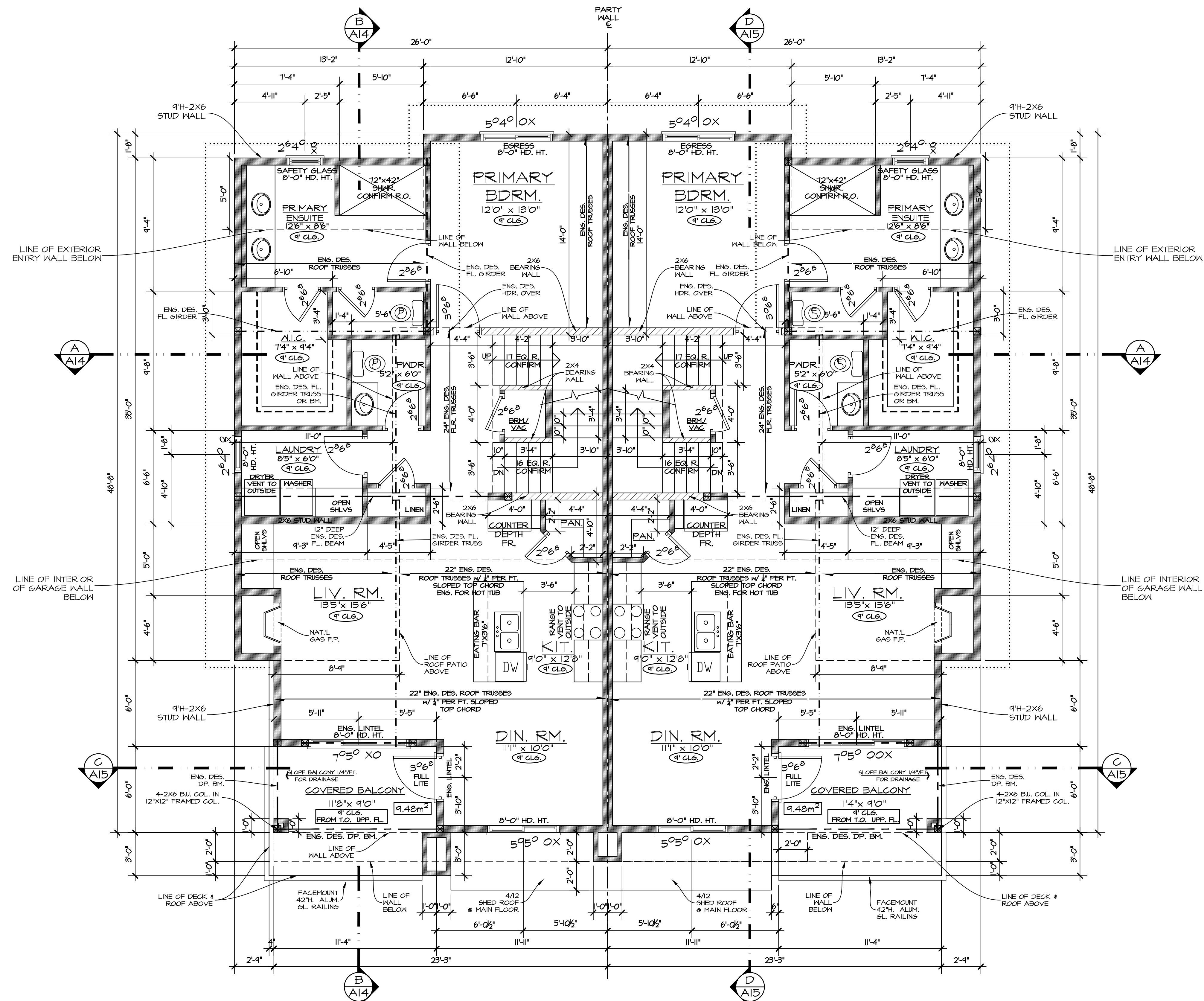
ERRORS AND OMISSIONS

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EVAN GILBERT
drafting & design
www.egdrafting.ca 778.478.7722
evan@egdrafting.ca

PROJECT TITLE	
773 KINNEAR AVE. KELOWNA, BC	
DATE:	03/18/24
DRAWING SCALE:	1/4" = 1'0"
DRAWN BY:	EKG
CHECKED BY:	EKG
APPROVED BY:	
SHEET NAME	
UNIT #3 & #4 MAIN FLOOR PLAN & UNIT #1-#4 GARAGE	
PROGRESS	
FOR CONSTRUCTION	
REVISION	PLAN NUMBER:
A	890
SHEET NUMBER	SHEET
A11	11 OF 17

REVISIONS		
REV	DATE	DESCRIPTION
A	03/18/24	ISSUED FOR TENDER & DEVELOPMENT PERMIT

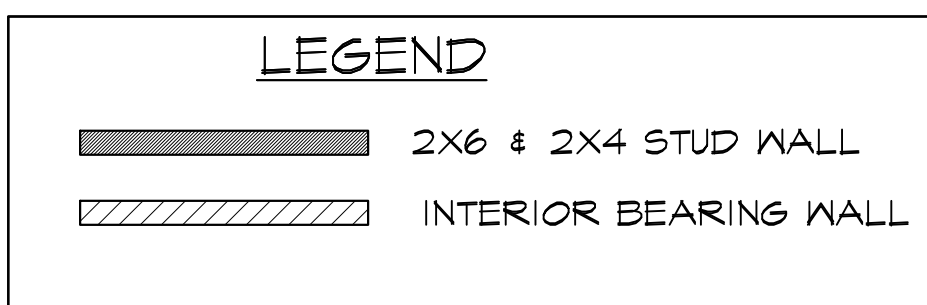


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NOTE:
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H.R.V. INSTALLED

ERRORS AND OMISSIONS

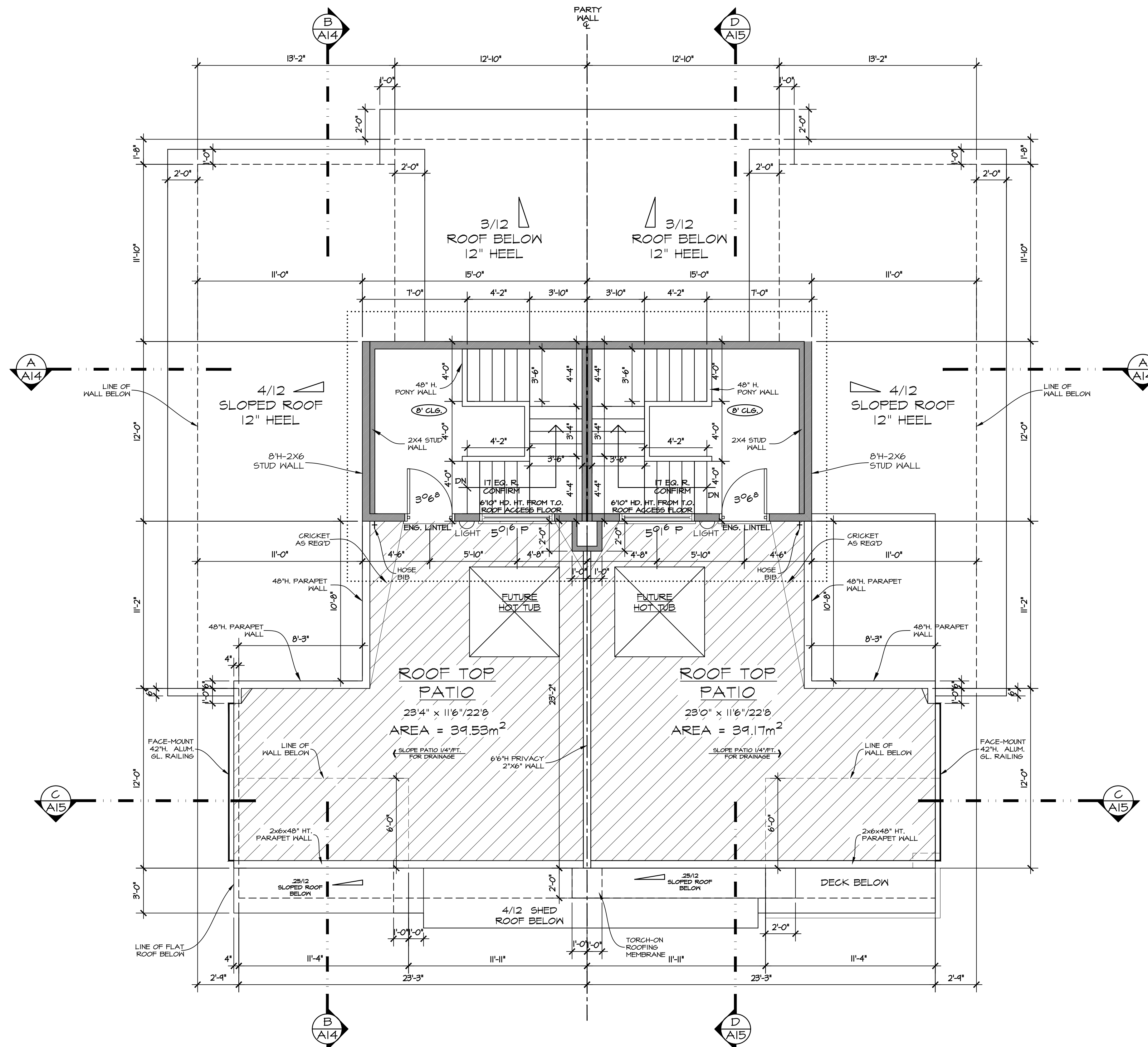
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UPPER FLOOR PLAN
 (LANE UNIT #3 & #4)
 FINISHED AREA = 1073.91 SQ.FT. (99.78m²)
 *NOT INCLUDING STAIRS
 STAIRS TO ROOF-TOP PATIO = 67.67 SQ.FT. (6.29m²)
 FLOOR AREA (NET) 1005.04 SQ.FT. (93.37m²)

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 www.egdrafting.ca 778.478.7722
 evan@egdrafting.ca

PROJECT TITLE	
773 KINNEAR AVE. KELOWNA, BC	
DATE:	03/18/24
DRAWING SCALE:	1/4" = 1'0"
DRAWN BY:	EKG
CHECKED BY:	EKG
APPROVED BY:	
SHEET NAME	
UNIT #3 & #4 UPPER FLOOR PLAN	
PROGRESS	
FOR CONSTRUCTION	
REVISION	PLAN NUMBER:
A	890
SHEET NUMBER	SHEET
A12	12 OF 17

REVISIONS		
REV	DATE	DESCRIPTION
A	03/18/24	ISSUED FOR TENDER & DEVELOPMENT PERMIT



ROOF ACCESS/ PATIO PLAN
(LANE UNIT #3 & 4)

STAIRS & LANDING AREA = 180.00 SQ.FT. (16.72m²)
(8' CEILING)

NOTES:
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 -TRUSS LAYOUT AS PER ENG. DES. TRUSS DRAWINGS.

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NOTE:
 -ALL WINDOW HEAD HEIGHTS TO BE 6'10" UNLESS NOTED
 -ALL DOORS TO BE 6'8" HIGH UNLESS NOTED.

LEGEND

	2X6 & 2X4 STUD WALL
	INTERIOR BEARING WALL

H.R.V. INSTALLED

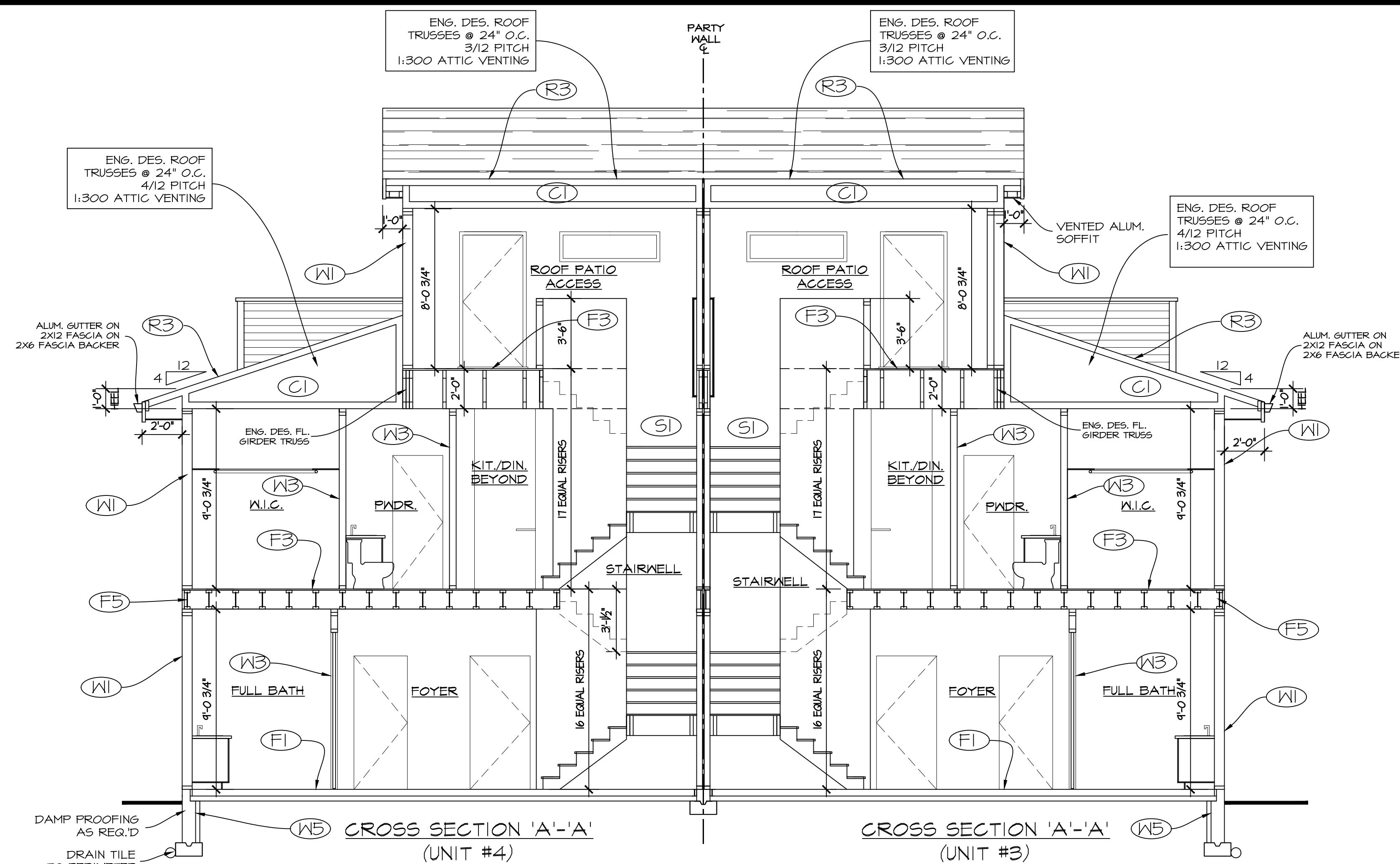
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 drafting & design
 www.egdrafting.ca 778.478.7722
 evan@egdrafting.ca

PROJECT TITLE	
773 KINNEAR AVE. KELOWNA, BC	
DATE:	03/18/24
DRAWING SCALE:	1/4" = 1'0"
DRAWN BY:	EKG
CHECKED BY:	EKG
APPROVED BY:	
SHEET NAME	
UNIT #3 & #4 ROOF ACCESS/ PATIO PLAN	
PROGRESS	
FOR CONSTRUCTION	
REVISION	PLAN NUMBER:
A	890
SHEET NUMBER	SHEET
A13	13 OF 17

REVISIONS		
REV	DATE	DESCRIPTION
A	03/18/24	ISSUED FOR TENDER & DEVELOPMENT PERMIT

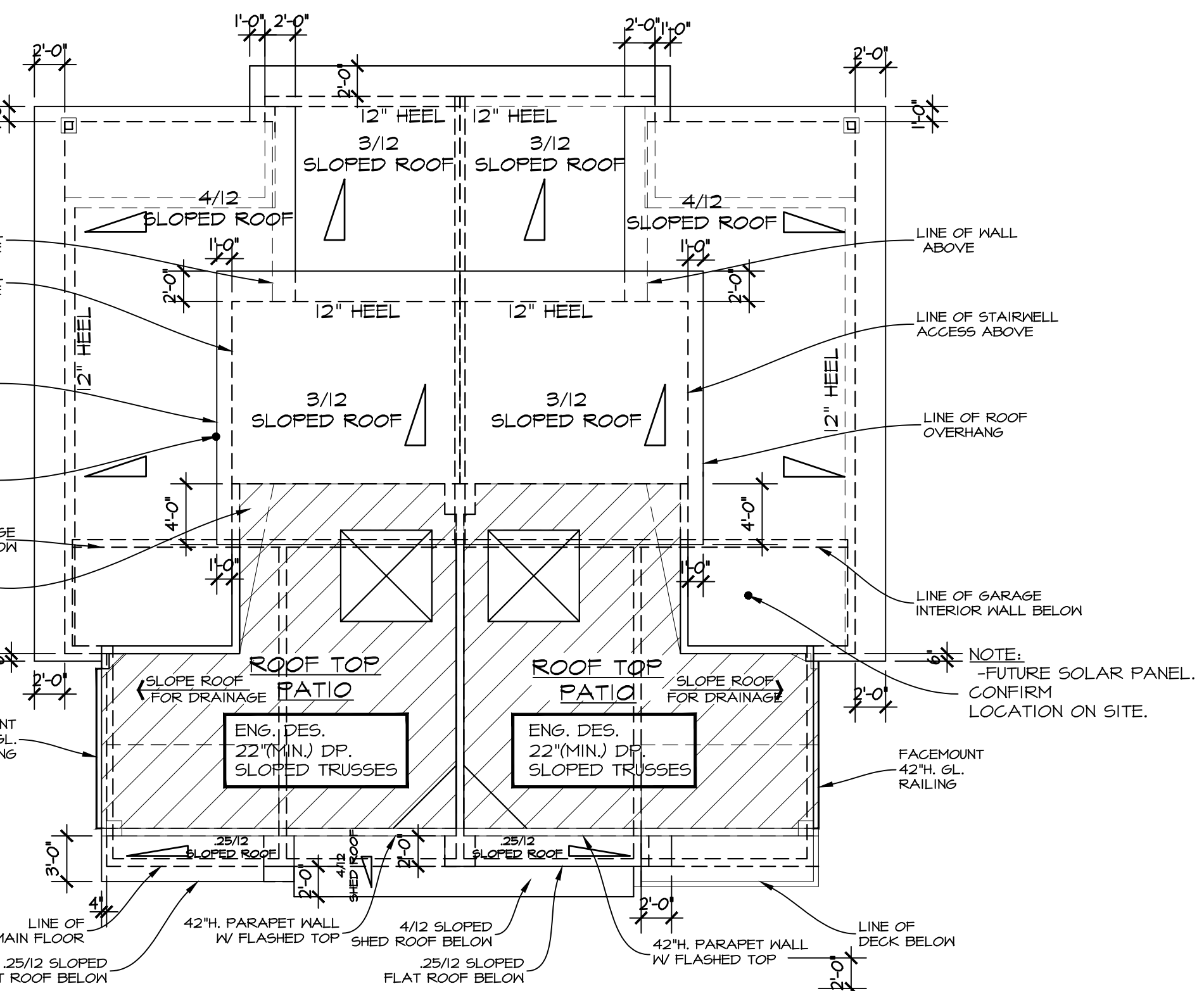


NOTE:
FLAT TRUSSES C/W BUILT IN TOP CORD
SLOPE FOR DRAINAGE. TRUSS MANUF. TO CONFIRM
WITH ROOFING CONTRACTOR. ALL ROOF DRAINS
TO BE IN ROOF O.H. DO NOT BRING ANY DRAINS
DOWN INSIDE INTERIOR WALLS.

-CONDUIT PROVISION REQUIRED FOR
FUTURE SOLAR PANELS ON ROOF AS
PER BUILDING CODE. TRUSSES TO BE
DESIGNED TO CARRY SOLAR PANELS.
CONTRACTOR TO CONFIRM.
-BC BUILDING CODE PROVISIONS FOR
THE ROUGH-IN FOR A SUB-FLOOR
DEPRESSURIZATION SYSTEM NOW
REQUIRE
INSTALLATION OF A RADON VENT PIPE
WHICH
EXTENDS THROUGH, AND TERMINATES
OUTSIDE
THE BUILDING.

CONTRACTOR TO CONFIRM ALL
FLAT ROOF TO PARAPET
CONNECTIONS INCLUDING ALL
FLASHINGS, CANT STRIPS, & DRAINS.

SOFFITS PROJECTING
INTO 1.2m SETBACK TO BE
INVENTED AND PROTECTED.
SEE BC.BC.A-4.10.15.5 IN
APPENDIX A



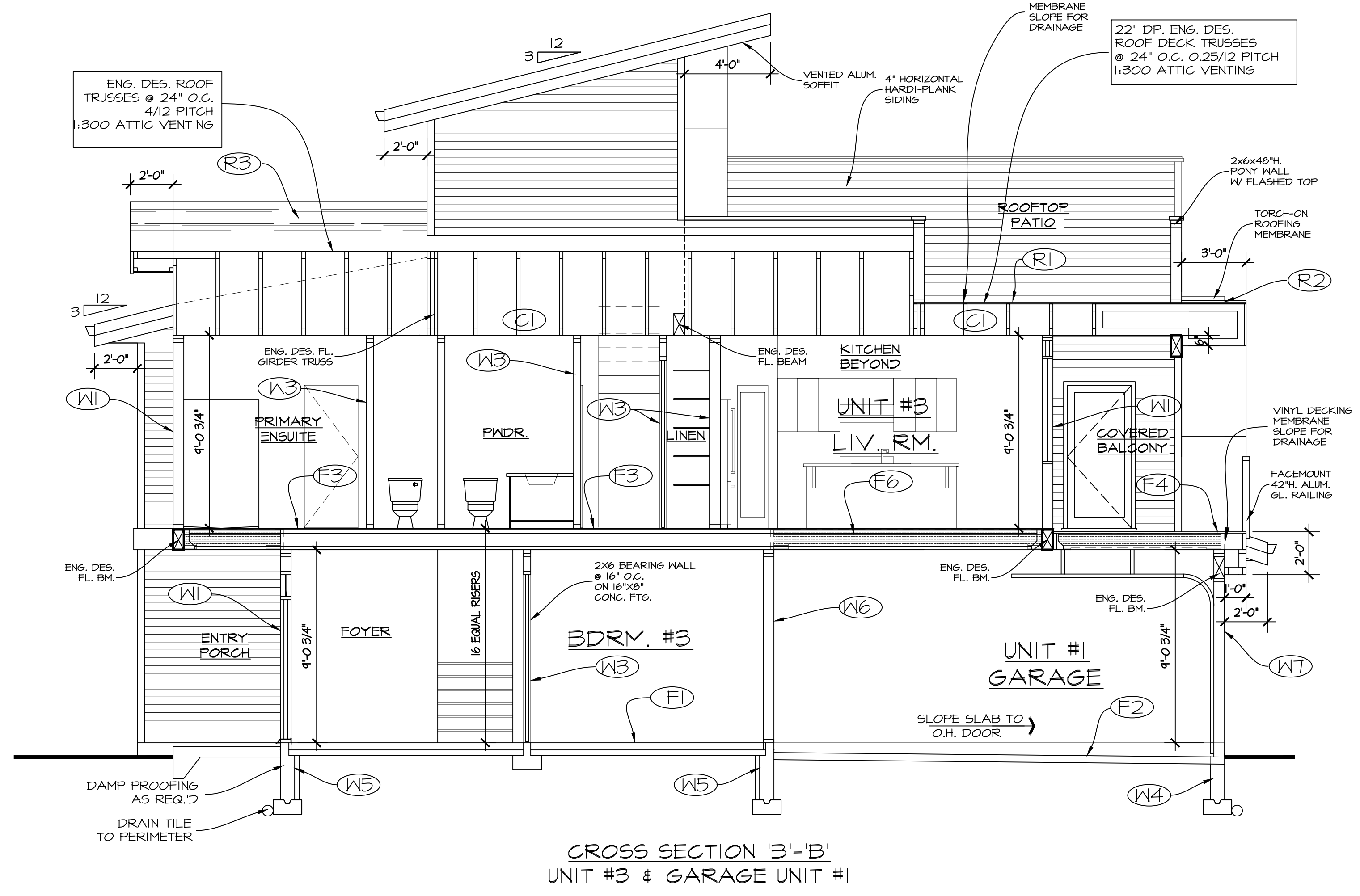
ROOF PLAN
(UNIT # 3)

ROOF PLAN
(UNIT # 4)

ROOF PLAN
1/8" = 1'-0"

NOTE:
-ALL HEEL HEIGHTS TO BE
12" UNLESS NOTED.

NOTE:
-VENTILATION SHOULD BE
SHOWN ON ROOF ABOVE THE INSIDE OF THE
EXTERIOR WALL WHEN SOLID SOFFITS ARE
REQUIRED. PLUS VENTING NEAR THE RIDGE
COMPLYING WITH BCBC 2012.



CROSS SECTION 'B'-B'
UNIT #3 & GARAGE UNIT #1

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evan@egdrafting.ca

PROJECT TITLE
773 KINNEAR AVE.
KELOWNA, BC

DATE: 03/18/24
DRAWING SCALE: 1/4" = 1'0"
DRAWN BY: EKG
CHECKED BY: EKG

APPROVED BY:
SHEET NAME
**UNIT #3 & #4
CROSS SECTIONS
A,B & ROOF PLAN**

PROGRESS
FOR CONSTRUCTION

REVISION
A PLAN NUMBER:
890

SHEET NUMBER
A14 SHEET
14 OF 17

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REVISIONS

REV	DATE	DESCRIPTION
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ROOF & CEILING ASSEMBLIES

ROOF-TOP PATIO CONSTRUCTION (TYPICAL)

COMPONENTS

- VINYL WATERPROOF MEMBRANE (DBL) 6/4 PEEL AND STICK
- 7/8" O.S.B. ROOF SHEATHING C/M 1" CLIPS
- ENGINEER DESIGN ROOF TRUSS SYSTEM
- INSULATION
- 6 MIL. POLY. VAPOUR BARRIER
- 1/2" GYPSUM BOARD

SEE ENERGY CONSULTANT REPORT/DETAILS FOR EFFECTIVE RSI / R VALUE OF ENTIRE ASSEMBLY

(ROOFING CONTRACTOR TO CONFIRM ROOF CONSTRUCTION)

ROOF CONSTRUCTION (TYPICAL)

COMPONENTS

- AIR FILM (EXTERIOR)
- TORCH ON ROOFING W/ WATERPROOF MEMBRANE
- ENGINEER DESIGN 2X4 BOTTOM CORD CAVITY
- INSULATION
- 6 MIL. POLY. VAPOUR BARRIER
- 1/2" GYPSUM BOARD
- AIR FILM (INTERIOR)

SEE ENERGY CONSULTANT REPORT/DETAILS FOR EFFECTIVE RSI / R VALUE OF ENTIRE ASSEMBLY

(ROOFING CONTRACTOR TO CONFIRM ROOF CONSTRUCTION)

ROOF CONSTRUCTION (TYPICAL)

COMPONENTS

- 7/8" ASPHALT SHINGLES MIN. 30 YEAR
- 30# ROOFING FELT UNDERLAYMENT
- 7/8" O.S.B. ROOF SHEATHING C/M 1" CLIPS
- ENGINEER DESIGN ROOF TRUSS SYSTEM
- INSULATION
- 6 MIL. POLY. VAPOUR BARRIER
- 1/2" GYPSUM BOARD

SEE ENERGY CONSULTANT REPORT/DETAILS FOR EFFECTIVE RSI / R VALUE OF ENTIRE ASSEMBLY

(ROOFING CONTRACTOR TO CONFIRM ROOF CONSTRUCTION)

TYPICAL CEILING BELOW ATTIC

COMPONENTS

- AIR FILM (EXTERIOR)
- ENGINEER DESIGN 2X4 BOTTOM CORD CAVITY
- INSULATION
- 6 MIL. POLY. VAPOUR BARRIER
- 1/2" GYPSUM BOARD
- AIR FILM (INTERIOR)

SEE ENERGY CONSULTANT REPORT/DETAILS FOR EFFECTIVE RSI / R VALUE OF ENTIRE ASSEMBLY

(ROOFING CONTRACTOR TO CONFIRM ROOF CONSTRUCTION)

WALL ASSEMBLIES

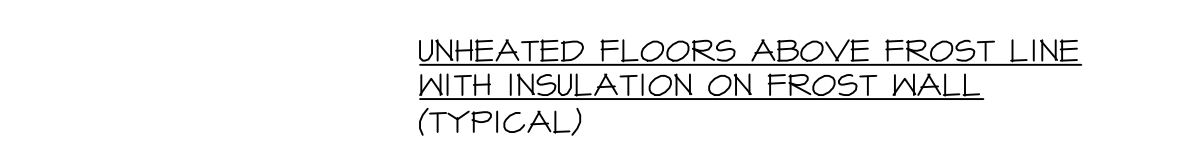
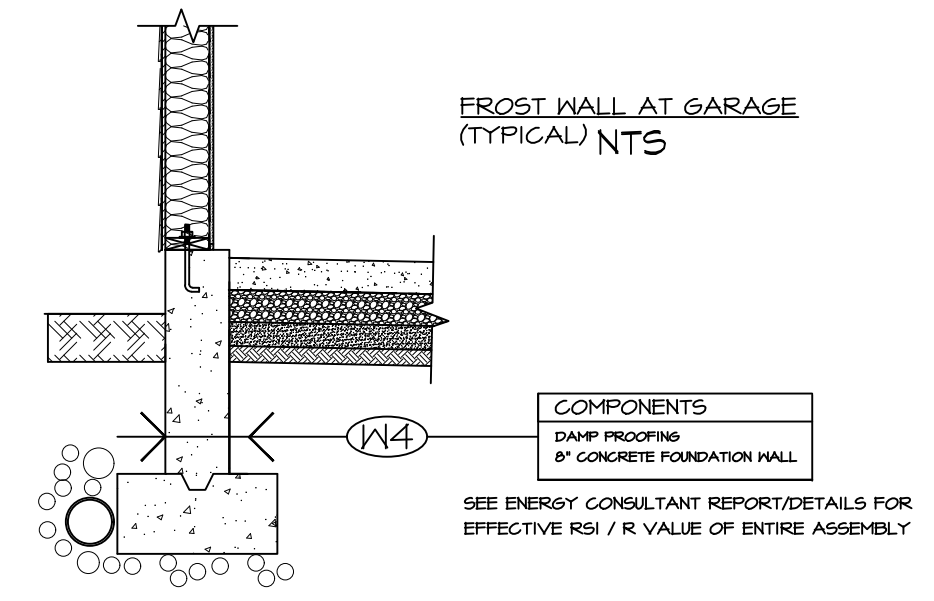
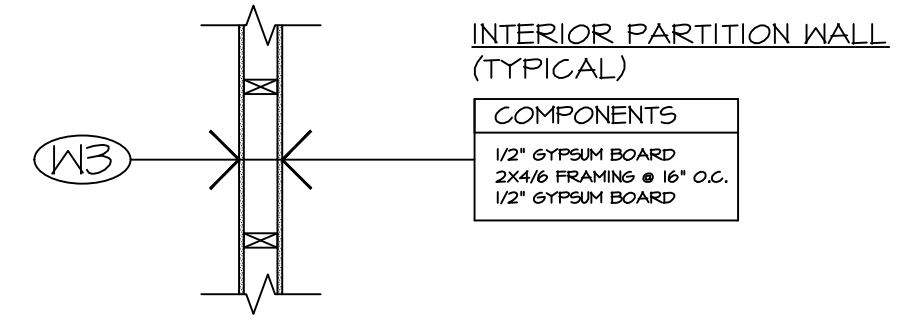
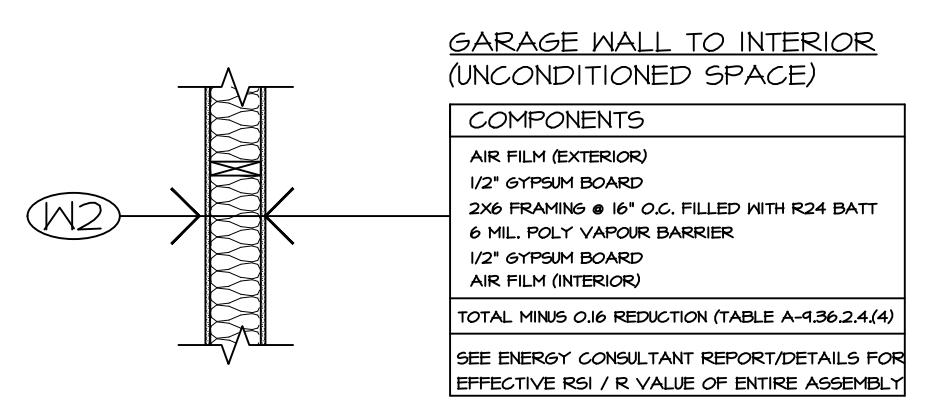
HARDI-PLANK/ BOARD (TYPICAL ABOVE GRADE)

COMPONENTS

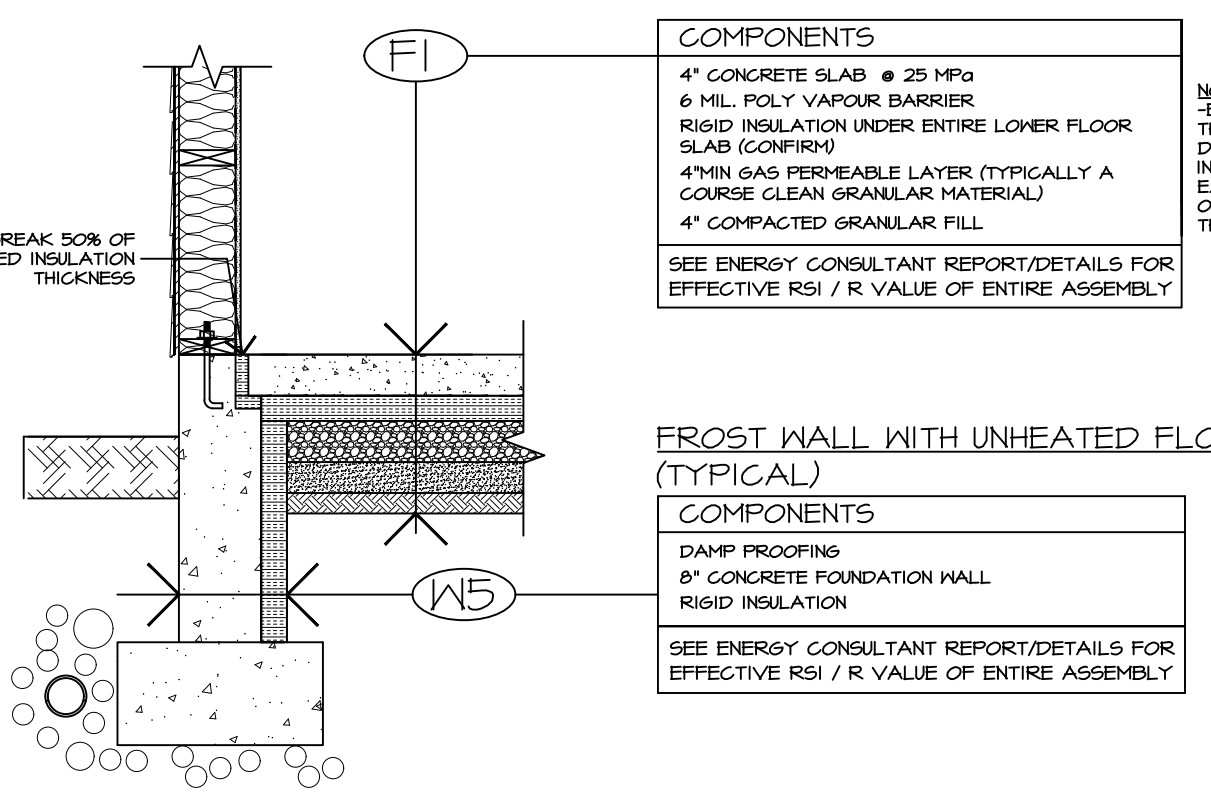
- AIR FILM (EXTERIOR)
- HARDI-PLANK/BOARD (FIBROUS CEMENT BOARD)
- 2 LAYERS OF 1/2" BUILDING PAPER
- 3/8" O.S.B. WALL SHEATHING
- 2X6 FRAMING @ 24" O.C. FILLED WITH R24 BATT
- 6 MIL. POLY. VAPOUR BARRIER
- 1/2" GYPSUM BOARD
- AIR FILM (INTERIOR)

SEE ENERGY CONSULTANT REPORT/DETAILS FOR EFFECTIVE RSI / R VALUE OF ENTIRE ASSEMBLY

H.R.V. INSTALLED



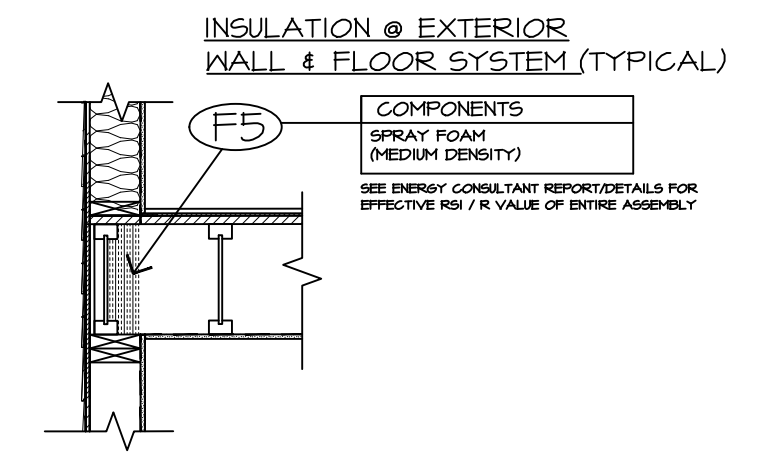
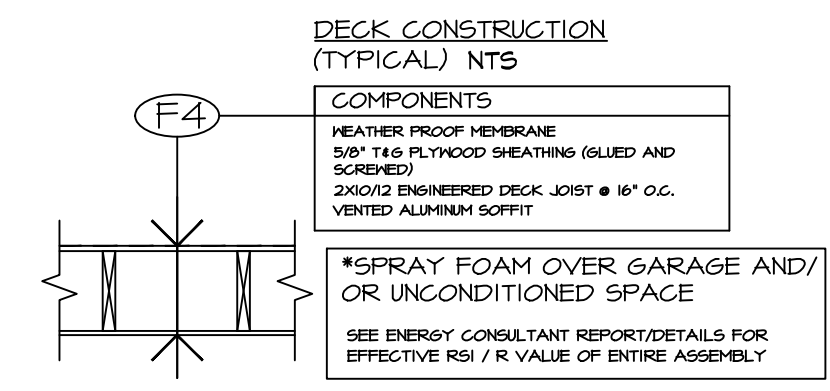
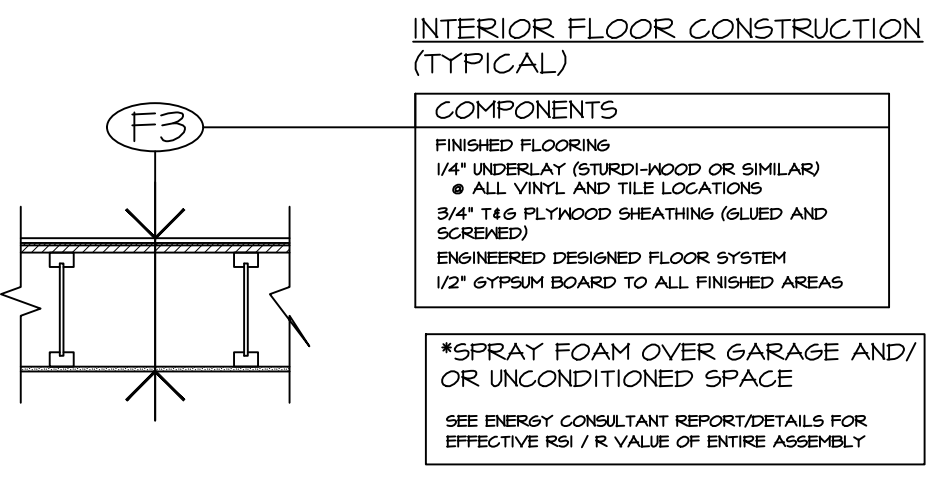
FLOOR ASSEMBLIES



GARAGE FLOOR ABOVE FROST LINE (TYPICAL)

COMPONENTS

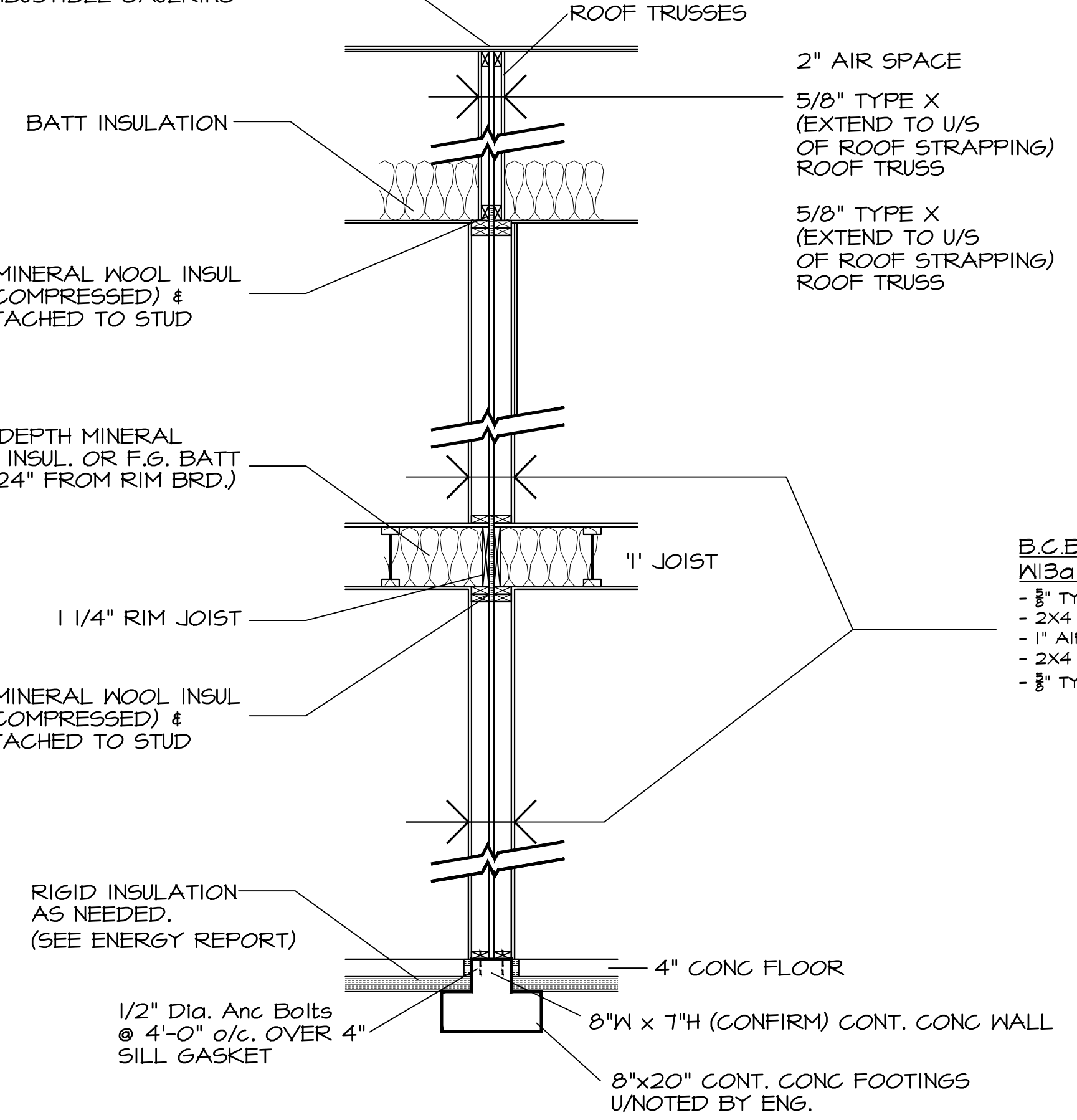
- 4" CONCRETE SLAB @ 25 MPa
- 6 MIL. POLY. VAPOUR BARRIER
- 5" COMPACTED SAND
- COMPACTED GRANULAR FILL



INTERIOR SWING DOORS
 Rough opening is always 82 1/2" high x 2" greater than nominal door size.
 EXAMPLE: 2/8 X 6/8 = 34"X 82 1/2"

INTERIOR BIFOLDS
 Rough openings for 2 panel doors are 1 1/2" greater than nominal door width & 1 1/2" greater than door height.
 EXAMPLE: 5/0 X 6/8 = 37 1/4"X81 1/2"
 Rough openings for 4 panel doors are 1" greater than nominal door width and 1 1/2" greater than height.
 EXAMPLE: 5/0 X 6/8 = 61" X 81 1/2"

SHEATHING NAILED TO CENTER TRUSS. ANY GAPS TO BE SEALED W/ MINERAL WOOL & APPROVED NONCOMBUSTIBLE CAULKING



B.C.B.C. TABLE A-9.10.3.1.A

W3a - 1 HR. FRR - STC 57

- 5/8" TYPE 'X' DRYMALL
- 2X4 @ 16" O.C. C/M R-12 ROCKWOOL INSULATION
- 1" AIR SPACE
- 2X4 @ 16" O.C. C/M R-12 ROCKWOOL INSULATION
- 5/8" TYPE 'X' DRYMALL

FRR & STC ASSEMBLIES

Description	FRR	Fire Resistance Rating	Typical Sound Transmission Class
UNIT #3 & #4 INTERIOR FLOOR CONSTRUCTION OVER UNIT #1 & #2 GARAGE SPACES (TYPICAL)			
- 5/8" X 8" SPS PLYWOOD OSB OR 7/8" TORX 4" ABOVE LAYERS			
- FLOOR JOIST OR FLOOR LAYERS SPACED NOT MORE THAN 400mm			
- WITH ABSORPTIVE MATERIAL, ROCK WOOL IN CAVITY			
- RESILIENT METAL CHANNELS SPACED 400mm O.C.			
- 2 LAYER 5/8" X 8" TYPE 'X' GYPSUM BOARD ON CEILING SIDE OF GARAGE			
	1 h		52 STC
GARAGE OF UNIT #1 & UNIT #2 WALL SEPARATING UNIT #3 & UNIT #4 (UNCONDITIONED SPACE)			
- 80mm X 80mm STUDS SPACED 400mm OR 400mm			
- 80mm ROCK ABSORPTIVE MATERIAL			
- WITH ABSORPTIVE MATERIAL, ROCK WOOL IN CAVITY			
- RESILIENT METAL CHANNELS ON ONE SIDE SPACED 400mm			
- 5/8" X 8" TYPE 'X' GYPSUM BOARD			
	1 h		51 STC
GARAGE OF UNIT #1 & #2 EXTERIOR WALL (UNCONDITIONED SPACE)			
- 80mm X 80mm STUDS SPACED 400mm OR 400mm			
- 80mm ROCK ABSORPTIVE MATERIAL			
- 1 OR 2 LAYERS OF 5/8" X 8" TYPE 'X' GYPSUM BOARD			
- EXTERIOR SHEATHING AND SCREWS			
	1 h		N/A

GENERAL NOTES

- All work to be in compliance with the current residential standards of the National Building Code of Canada, current electrical and plumbing codes and all local building code and bylaws which may take precedence.
- All work shall be performed in all respects to good building practice.
- Written dimensions to be followed. DO NOT scale from drawings.
- All floor joists and beams to be D.U.T./Larch #2 or better or as noted.
- Wood in contact with concrete to be damp-proofed with 45 lb. felt, 6 mil. poly or other approved method.
- Plates to be anchored to concrete with 1/2" dia. anchor bolts at maximum 6'0" O.C. and at all corners.
- All measurements, grades and levels to be verified on site before commencing construction.
- Perimeter drainage shall be installed wherever required by local authorities having jurisdiction and to their approval.
- All concrete to have a minimum compressive strength of 20 mpa at 28 days.
- Floor joists spans of more than 7'0" shall be bridged at mid-span or at 7'0" O.C. maximum. Bridging shall be 2"x2" diagonal type cross bridging installed as required by the N.B.C.
- Flashing to be installed at all penetrations in roof systems and changes in roof plane.
- All electrical/plumbing fixtures to be verified with owner.
- Flashing to be installed at all changes in horizontal exterior finishings and over all unprotected openings. Caulking to be installed around all unflashed exterior openings.

EVAN GILBERT DRAFTING & DESIGN INC. shall not be responsible for any variances from the structural drawings and specifications, or adjustments required resulting from conditions encountered at the job site, and is the sole responsibility of the owner or contractor.

EVAN GILBERT DRAFTING & DESIGN INC. makes every effort to provide complete and accurate construction drawings. However, we assume no liability for any errors or omissions which may affect construction. It is the responsibility of all trades and sub-trades to check and verify all dimensions and details before commencing with their portion of the construction. Should any discrepancies be found on these plans please advise our office so we can make the necessary corrections.

EVAN GILBERT
 drafting & design
 www.egdrafting.ca 778.478.7722
 evan@egdrafting.ca

PROJECT TITLE

773 KINNEAR AVE.

KELOWNA, BC

DATE: 03/18/24

DRAWING SCALE: NTS

DRAWN BY: EKG

CHECKED BY: EKG

APPROVED BY:

SHEET NAME

ASSEMBLY DETAILS & TYPICAL NOTES

PROGRESS

FOR CONSTRUCTION

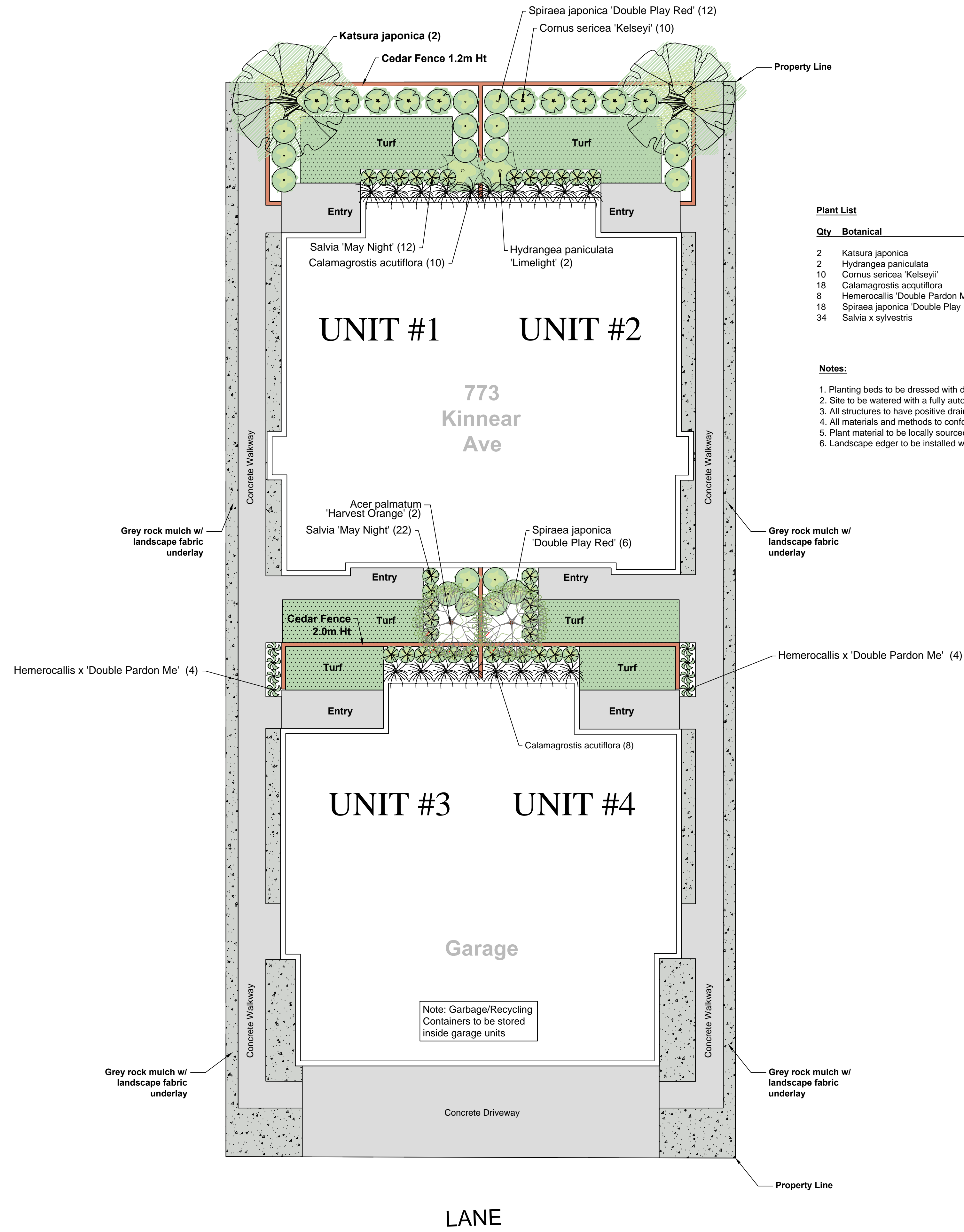
REVISION	PLAN NUMBER:
A	890

SHEET NUMBER	SHEET
A17	17 OF 17





KINNEAR AVENUE



Plant List

Qty	Botanical	Common	Size
2	Katsura japonica	Japanese Katsura	5Cm Cal Min
2	Hydrangea paniculata	Limelight Hydrangea	#2
10	Cornus sericea 'Kelsey'	Kelsey Dwarf Dogwood	#2
18	Calamagrostis acutiflora	Feather Reed Grass	#2
8	Hemerocallis 'Double Pardon Me'	Double Pardon Me Daylily	#1
18	Spiraea japonica 'Double Play Red'	Double Play Red Spiraea	#2
34	Salvia x sylvestris	May Night Salvia	#1

Notes:

1. Planting beds to be dressed with dark grey rock mulch.
2. Site to be watered with a fully automated irrigation system.
3. All structures to have positive drainage.
4. All materials and methods to conform to Canadian Landscape Standard.
5. Plant material to be locally sourced.
6. Landscape edger to be installed wherever turf meets rock mulch.

